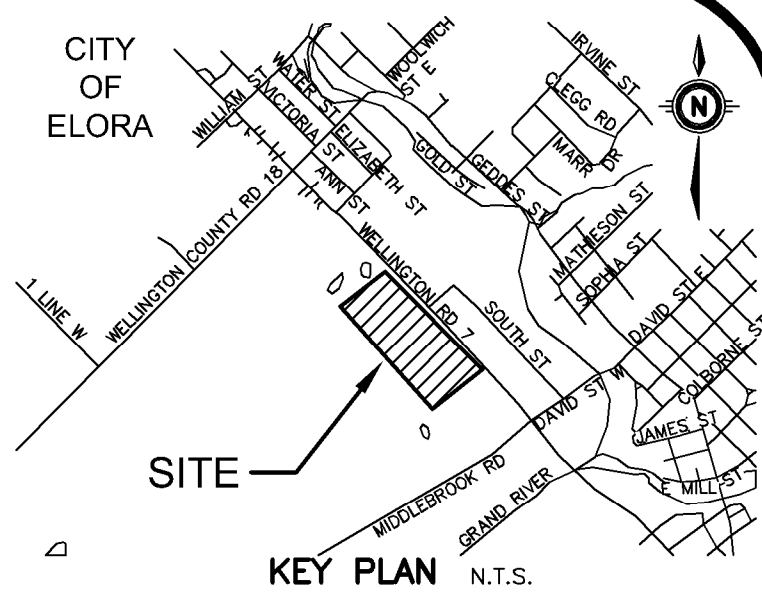
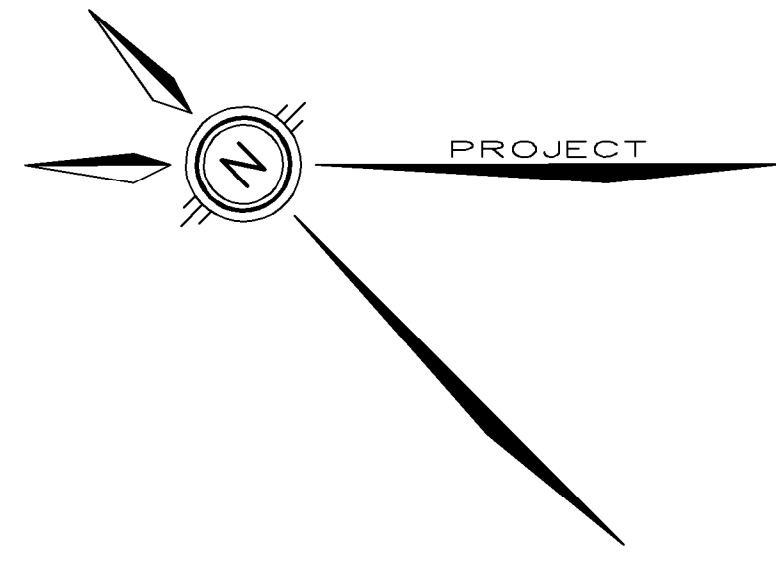


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April 27, 2023 - 3:45:30 PM - Plotted By: Belle Wilson



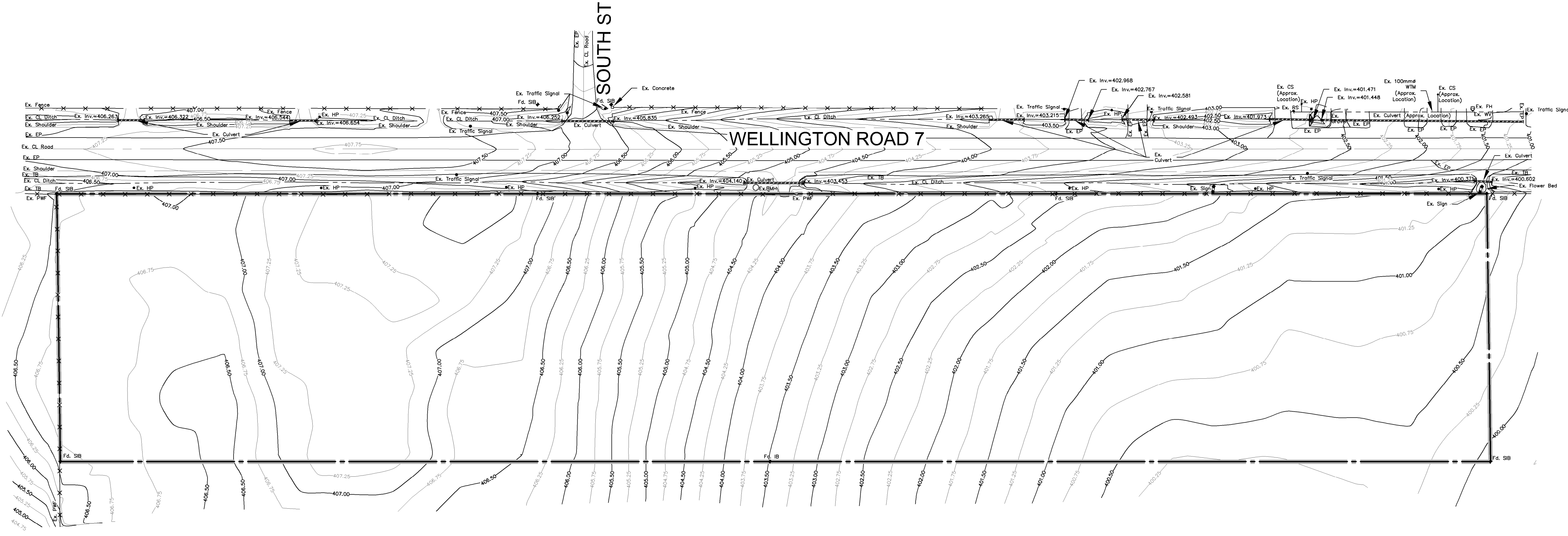
GEODETIC BM ELEV. = 387.982m
 ELORA POST OFFICE, BOLT IN FRONT WALL, IN LINTEL OF CENTRE BASEMENT WINDOW. (HISTORICAL NUMBER 16U117E).

SITE BENCHMARK ELEV. = m

NOTE TO CONTRACTOR :
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2.	Revised per Township/County Comments	PWD 2023-04-27
1.	ISSUED WITH FS-SWM REPORT	PWD 2022-10-20
No.	REVISION	BY YYYY-MM-DD



LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- - - 406.00 EXISTING CONTOURS
- x - x - x - x - x - EXISTING FENCE
- [Pattern] EXISTING RIP RAP
- - - EXISTING CULVERT
- Ex. 100mm WTM Ex. HYD. SET EXISTING WATERMAIN



Engineers, Scientists, Surveyors

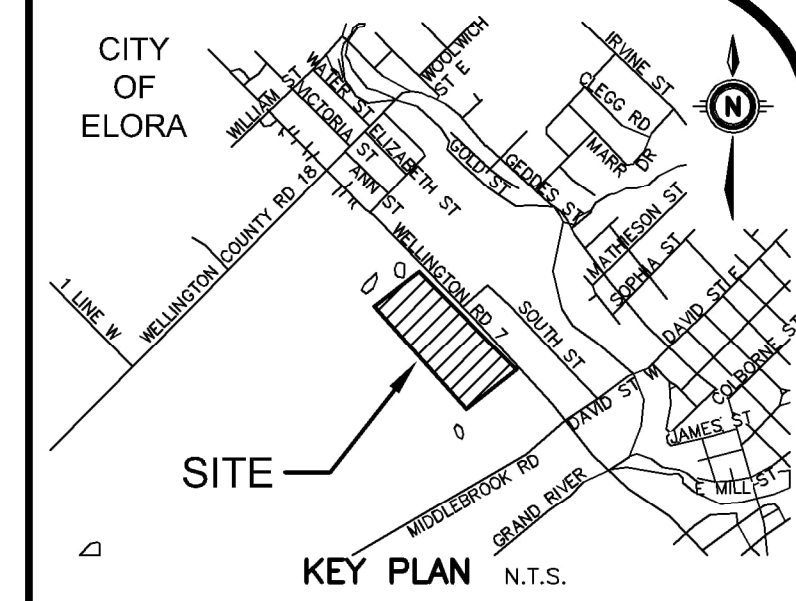
519-743-6500

OWNER
WE MERCHANDISE SPACE INC
 590 ALDEN ROAD MARKHAM

PROJECT
11 ACRE SITE OPA AND REZONING
 350 WELLINGTON ROAD 7 ELORA

DRAWING
EXISTING CONDITIONS PLAN

Project Manager	P. DOUGLAS	Project No.	51060-100
Design By		Checked By	
Drawn By	BDW	Checked By	
Surveyed By	MTE	Drawing No.	C1.1
Date	Jul. 12/22		
Scale	1:750		Sheet 1 of 7



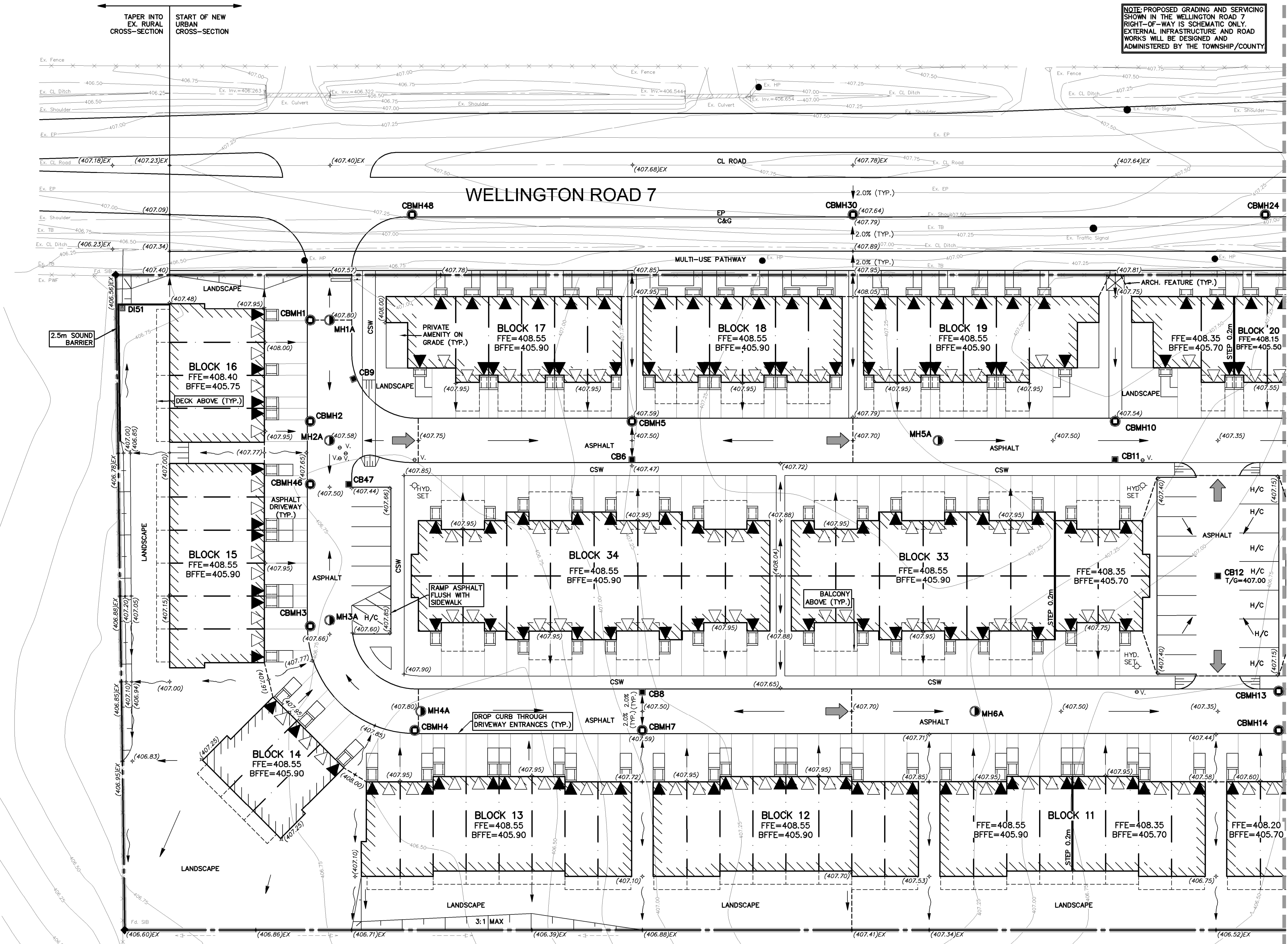
GEODETIC BM ELEV. = 387.982m
ELORA POST OFFICE, BOLT IN FRONT WALL, IN LINE OF CENTRE BASEMENT WINDOW. (HISTORICAL NUMBER 16U117E).

SITE BENCHMARK ELEV. = m

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LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- EXISTING CONTOURS
- - - - - EXISTING DIRECTION OF DRAINAGE
- EXISTING FENCE
- EXISTING RIP RAP
- EXISTING CULVERT

LEGEND OF PROPOSED FEATURES

- + (407.00) PROPOSED SPOT ELEVATIONS
- EX = MAINTAIN EXISTING
- T/G = TOP OF CASTING/GRATE
- INV = INVERT ELEVATION
- FFE = FINISHED FLOOR ELEVATION
- DIRECTION OF DRAINAGE/SWALE
- DRAINAGE SPLIT (RIDGE)
- EMBANKMENT (SLOPE AS NOTED)
- PROPOSED BUILDING
- ▲ MAN DOOR
- △ OVERHEAD DOOR
- (DROP CURB) CONCRETE CURB
- RETAINING WALL
- OVERLAND FLOW ROUTE (MAJOR STORM)

NOTE: SIDE AND REAR DOWNSPOUTS ON BLOCKS 13 AND 14, AND A PORTION OF BLOCKS 12 AND 15, ARE TO SPILL TO GRADE ULTIMATELY TO WETLAND B.

NOTE: SIDE AND REAR DOWNSPOUTS ON BLOCKS 1 TO 11, AND A PORTION OF BLOCK 12, ARE TO SPILL TO GRADE ULTIMATELY TO WETLAND A.

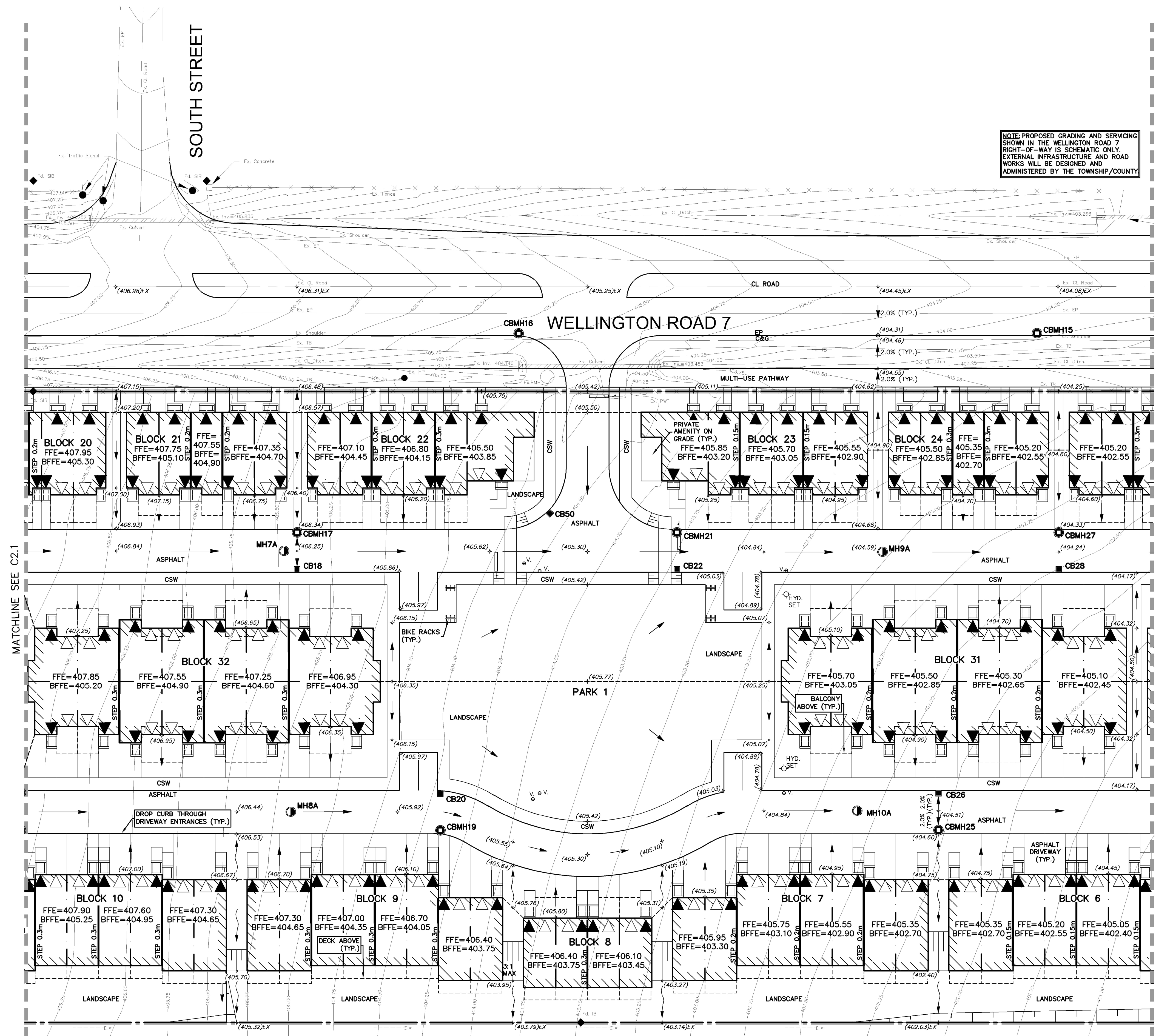
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No.	REVISION	BY YYYY-MM-DD



519-743-6500

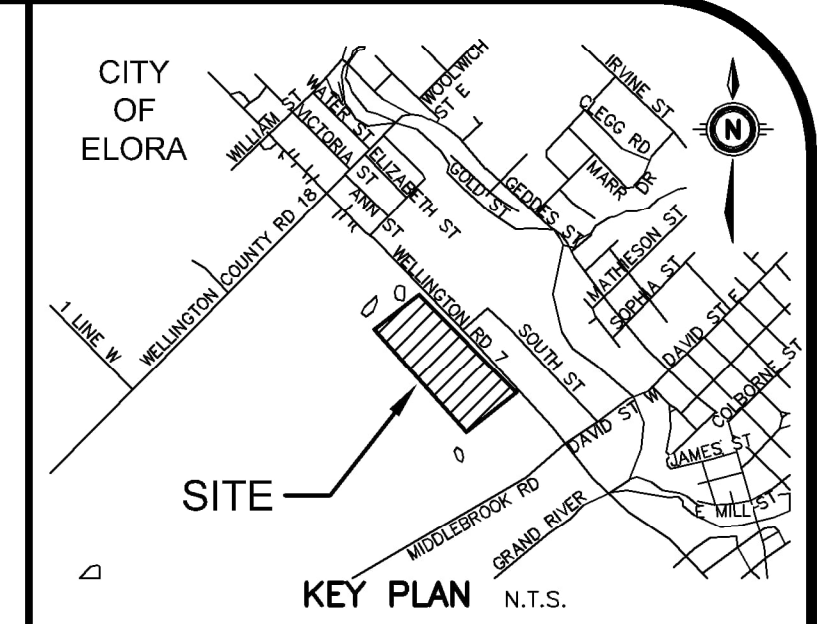
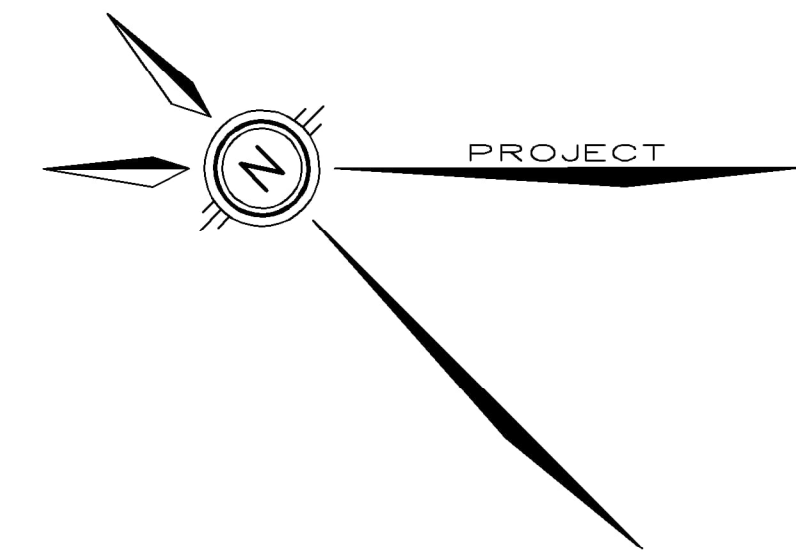
OWNER
WE MERCHANDISE SPACE INC
590 ALDEN ROAD MARKHAM
PROJECT
11 ACRE SITE OPA AND REZONING
350 WELLINGTON ROAD 7 ELORA
DRAWING

FUNCTIONAL GRADING PLAN #1	
Project Manager P. DOUGLAS	Project No. 51060-100
Design By TMA	Checked By LEI
Drawn By BDW/APK	Checked By TMA
Surveyed By MTE	Drawing No.
Date Jul. 14/22	C2.1
Scale 1:300	Sheet 2 of 7



NOTE: PROPOSED GRADING AND SERVING SHOWN IN THE WELLINGTON ROAD 7 RIGHT-OF-WAY IS SCHEMATIC ONLY. EXTERNAL INFRASTRUCTURE AND ROAD WORKS WILL BE DESIGNED AND ADMINISTERED BY THE TOWNSHIP/COUNTY

NOTE: SIDE AND REAR DOWNSPOUTS ON BLOCKS 1 TO 11, AND A PORTION OF BLOCK 12, ARE TO SPILL TO GRADE ULTIMATELY TO WETLAND A



GEODETIC BM ELEV. = 387.982m
 ELORA POST OFFICE, BOLT IN FRONT WALL, IN LINE OF CENTRE BASEMENT WINDOW. (HISTORICAL NUMBER 16U117E).

SITE BENCHMARK ELEV. = m

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LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- EXISTING CONTOURS
- EXISTING DIRECTION OF DRAINAGE
- EXISTING FENCE
- EXISTING RIP RAP
- EXISTING CULVERT

LEGEND OF PROPOSED FEATURES

- PROPOSED SPOT ELEVATIONS
 EX = MAINTAIN EXISTING
 T/G = TOP OF CASTING/GRATE
 INV = INVERT ELEVATION
 FFE = FINISHED FLOOR ELEVATION
- DIRECTION OF DRAINAGE/SWALE
- DRAINAGE SPLIT (RIDGE)
- EMBANKMENT (SLOPE AS NOTED)
- PROPOSED BUILDING
- MAN DOOR
- OVERHEAD DOOR
- CONCRETE CURB
- RETAINING WALL
- OVERLAND FLOW ROUTE (MAJOR STORM)

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519-743-6500

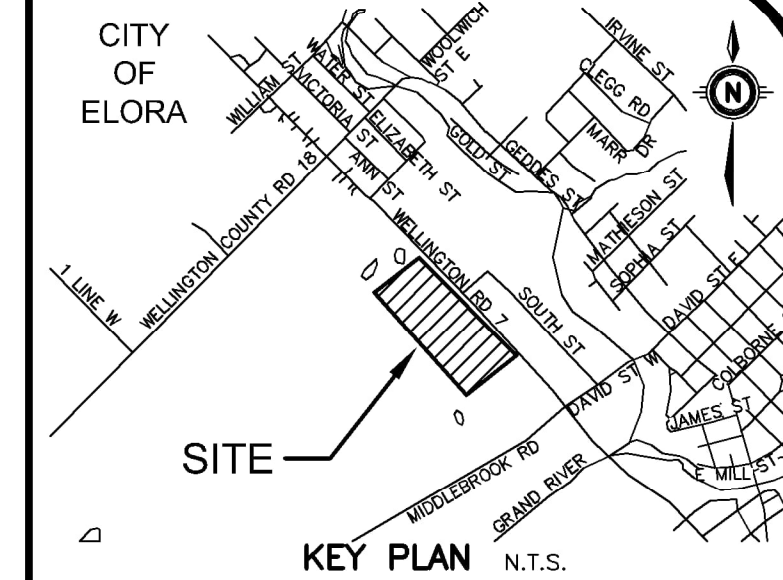
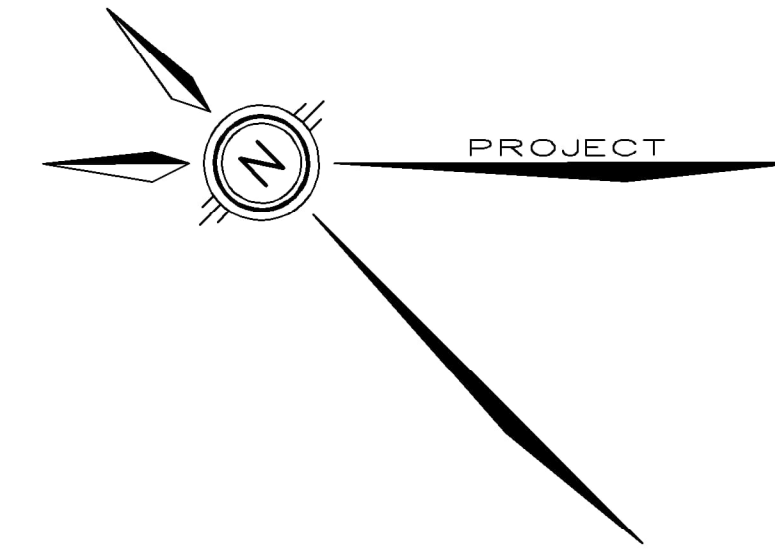
OWNER
WE MERCHANDISE SPACE INC
 590 ALDEN ROAD MARKHAM

PROJECT
11 ACRE SITE OPA AND REZONING
 350 WELLINGTON ROAD 7 ELORA

FUNCTIONAL GRADING PLAN #2

Project Manager	P. DOUGLAS	Project No.	51060-100
Design By	TMA	Checked By	LEI
Drawn By	BDW/APK	Checked By	TMA
Surveyed By	MTE	Drawing No.	C2.2
Date	Jul. 14/22	Scale	1:300
Scale	1:300	Sheet	3 of 7

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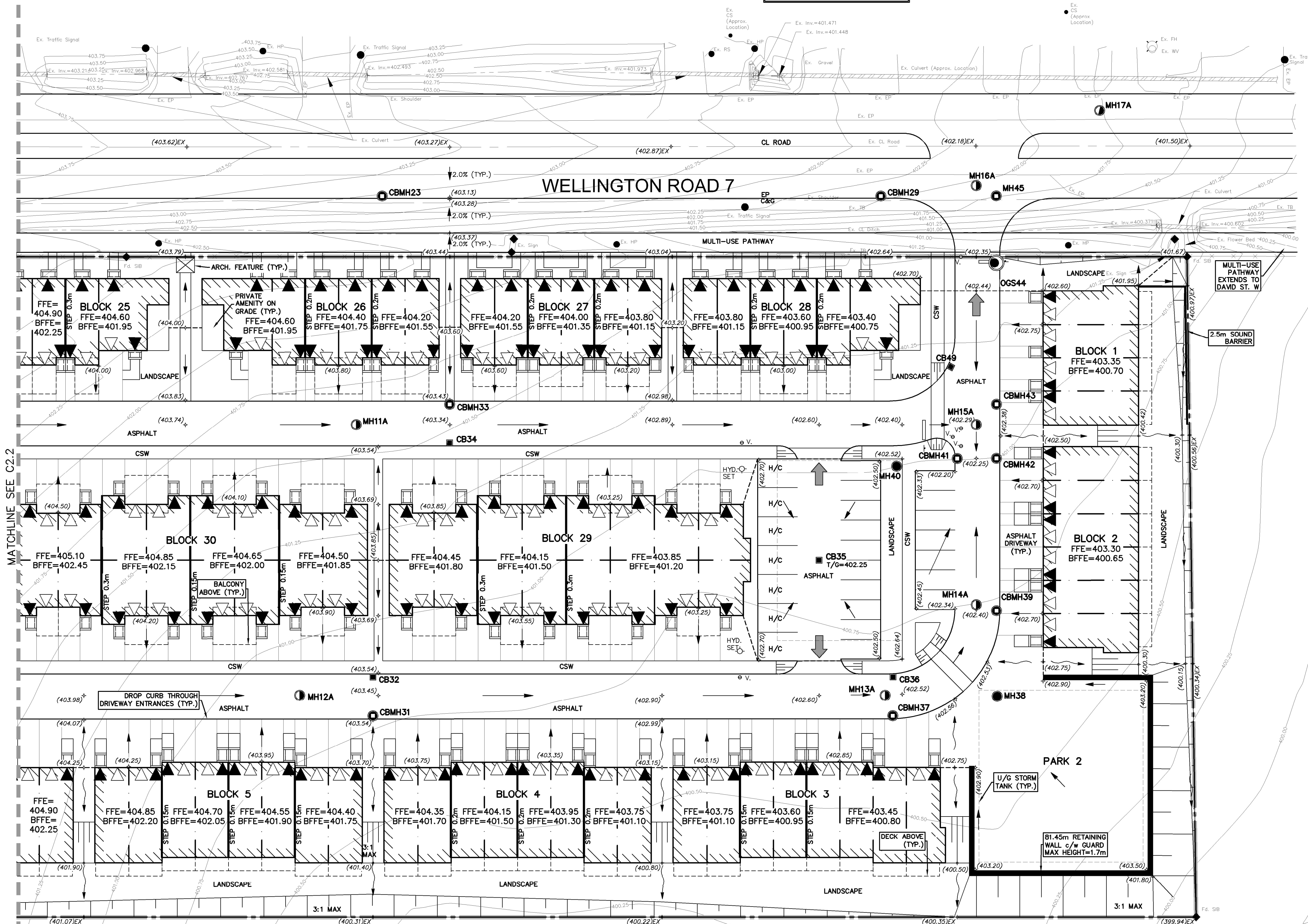
GEODETIC BM ELEV. = 387.982m
ELORA POST OFFICE, BOLT IN FRONT WALL, IN LINTEL OF CENTRE BASEMENT WINDOW. (HISTORICAL NUMBER 16U117E).

SITE BENCHMARK ELEV. = m

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LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- EXISTING CONTOURS
- EXISTING DIRECTION OF DRAINAGE
- EXISTING FENCE
- EXISTING RIP RAP
- EXISTING CULVERT

LEGEND OF PROPOSED FEATURES

- PROPOSED SPOT ELEVATIONS
- EX = MAINTAIN EXISTING
- T/G = TOP OF CASTING/GRATE
- INV = INVERT ELEVATION
- FFE = FINISHED FLOOR ELEVATION
- DIRECTION OF DRAINAGE/SWALE
- DRAINAGE SPLIT (RIDGE)
- EMBANKMENT (SLOPE AS NOTED)
- PROPOSED BUILDING
- MAN DOOR
- OVERHEAD DOOR
- CONCRETE CURB
- RETAINING WALL
- OVERLAND FLOW ROUTE (MAJOR STORM)

NOTE: SIDE AND REAR DOWNSPOUTS ON BLOCKS 1 TO 11, AND A PORTION OF BLOCK 12, ARE TO SPILL TO GRADE ULTIMATELY TO WETLAND A

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519-743-6500

OWNER
WE MERCHANDISE SPACE INC

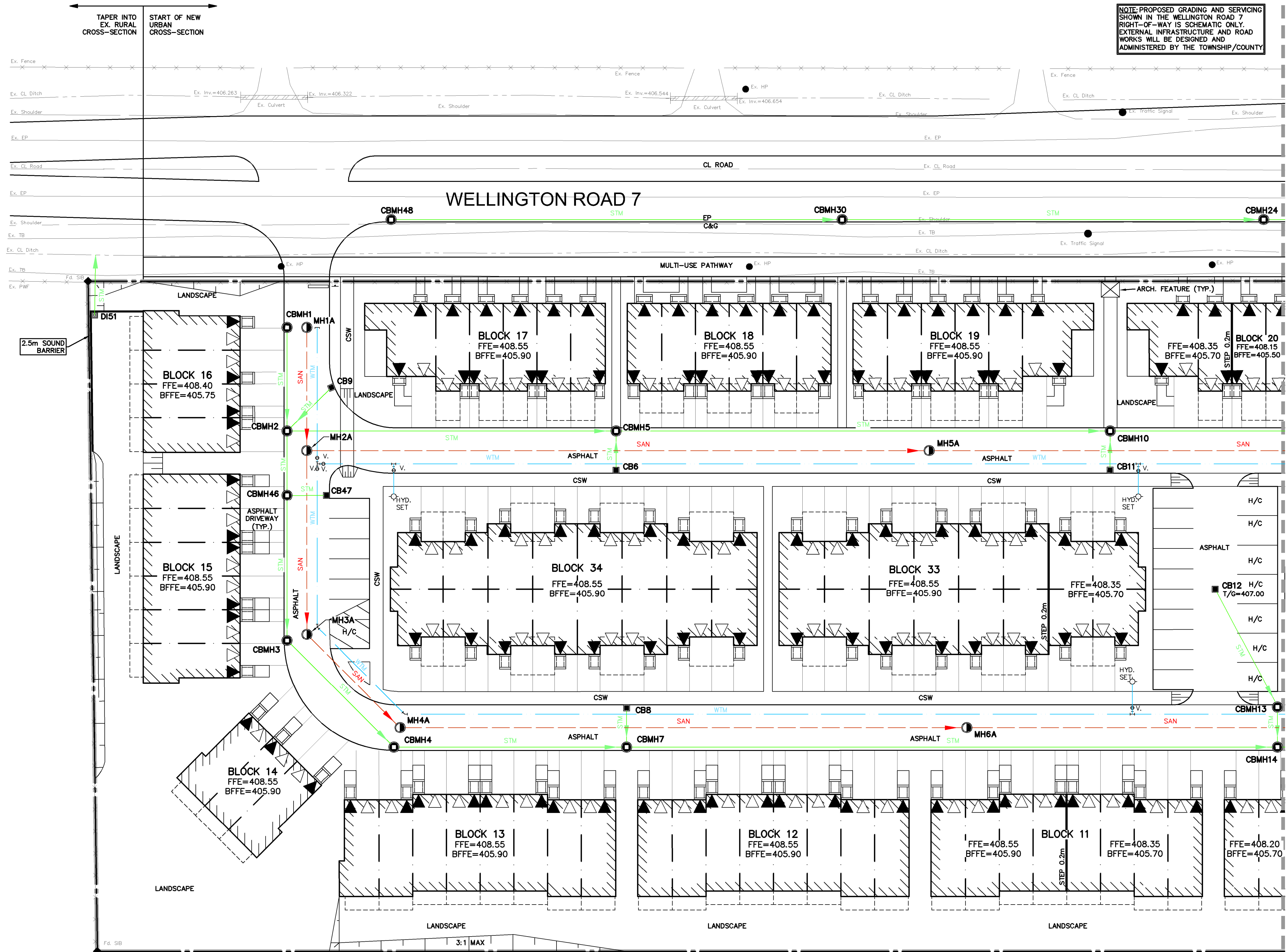
PROJECT
590 ALDEN ROAD MARKHAM

11 ACRE SITE OPA AND REZONING

350 WELLINGTON ROAD 7 ELORA

DRAWING

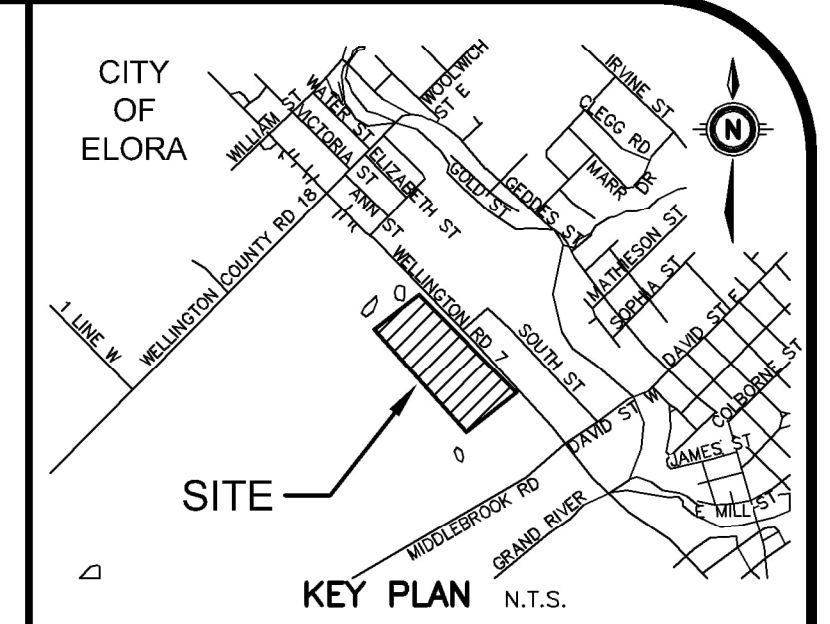
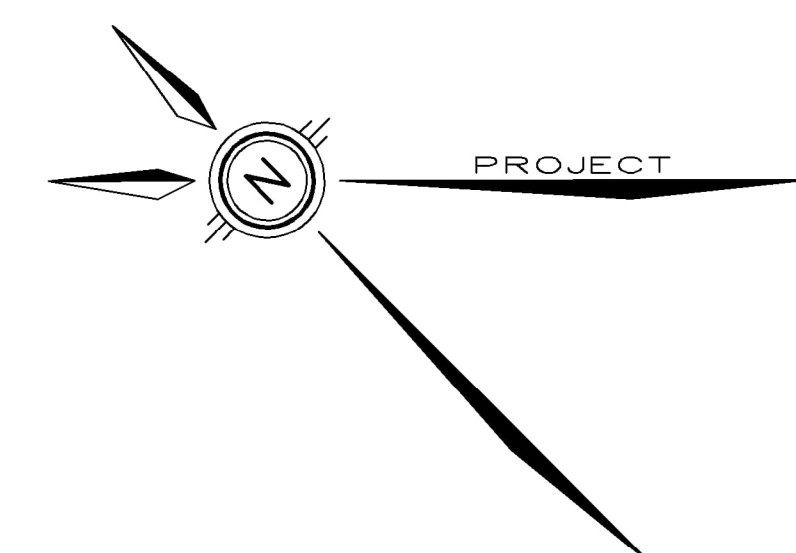
FUNCTIONAL GRADING PLAN #3	
Project Manager P. DOUGLAS	Project No. 51060-100
Design By TMA	Checked By LEI
Drawn By BDW/APK	Checked By TMA
Surveyed By MTE	Drawing No.
Date Jul. 14/22	C2.3
Scale 1:300	Sheet 4 of 7



NOTE: PROPOSED GRADING AND SERVICING SHOWN IN THE WELLINGTON ROAD 7 RIGHT-OF-WAY IS SCHEMATIC ONLY. EXTERNAL INFRASTRUCTURE AND ROAD WORKS WILL BE DESIGNED AND ADMINISTERED BY THE TOWNSHIP/COUNTY

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GEODETIC BM ELEV. = 387.982m
 ELORA POST OFFICE, BOLT IN FRONT WALL, IN LINE OF CENTRE BASEMENT WINDOW. (HISTORICAL NUMBER 16U117E).
 SITE BENCHMARK ELEV. = m

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LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- EXISTING FENCE
- EXISTING RIP RAP
- EXISTING CULVERT
- EXISTING WATERMAIN

LEGEND OF PROPOSED FEATURES

- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- EMBANKMENT (SLOPE AS NOTED)
- PROPOSED BUILDING
- MAN DOOR
- OVERHEAD DOOR
- CONCRETE CURB
- RETAINING WALL

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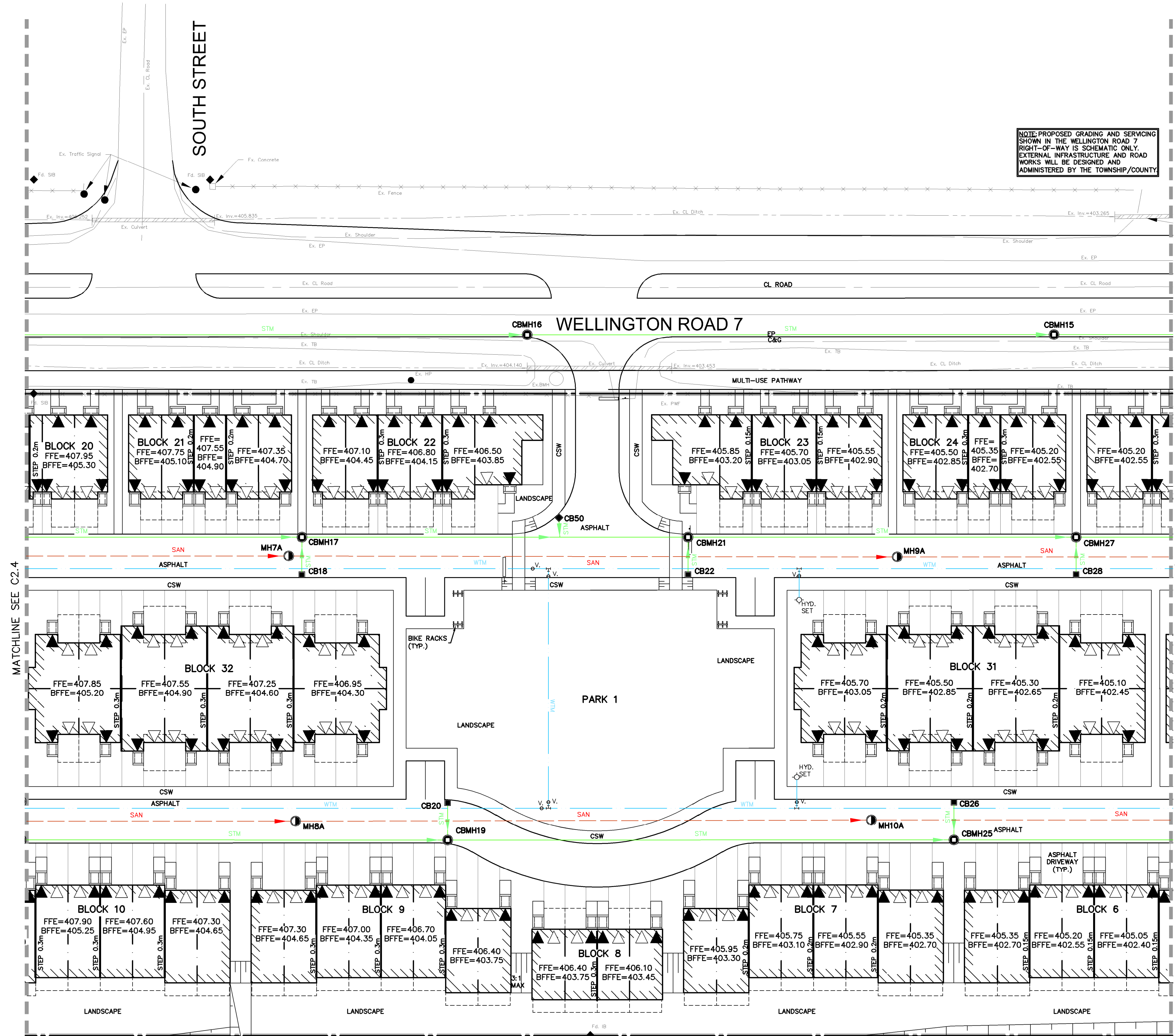


519-743-6500

OWNER
WE MERCHANDISE SPACE INC
 590 ALDEN ROAD MARKHAM
 PROJECT
11 ACRE SITE OPA AND REZONING
 350 WELLINGTON ROAD 7 ELORA
 DRAWING

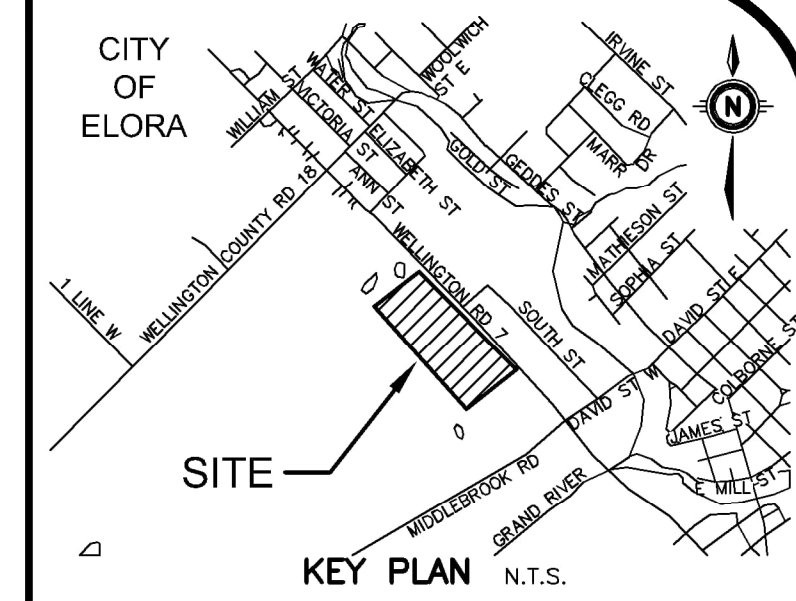
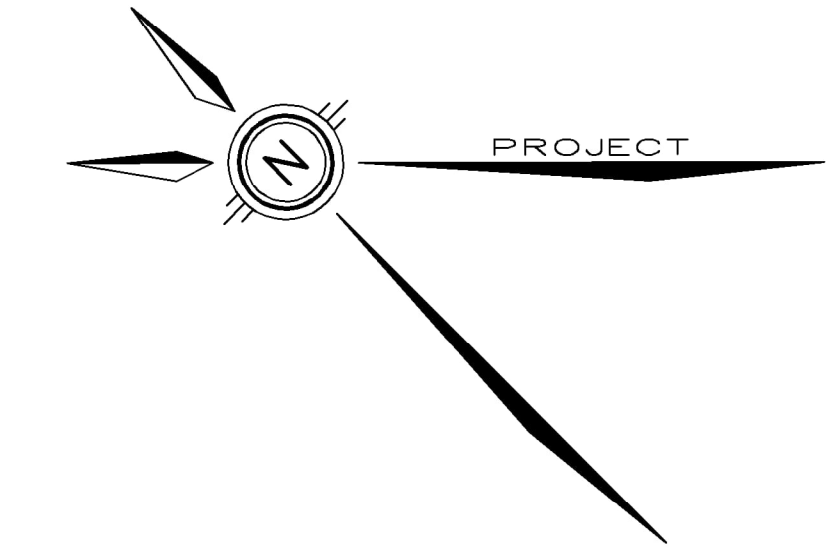
FUNCTIONAL SERVICING PLAN #1

Project Manager	P. DOUGLAS	Project No.	51060-100
Design By	TMA	Checked By	LEI
Drawn By	BDW/APK	Checked By	TMA
Surveyed By	MTE	Drawing No.	C2.4
Date	Jul. 14/22	Scale	1:300
Sheet	5 of 7		



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LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- EXISTING FENCE
- EXISTING RIP RAP
- EXISTING CULVERT
- EX. 100mm WTM
- EX. HYD. SET
- EXISTING WATERMAIN

LEGEND OF PROPOSED FEATURES

- MH SAN SANITARY SEWER
- MH STM STORM SEWER
- WTM WATERMAIN
- EMBANKMENT (SLOPE AS NOTED)
- PROPOSED BUILDING
- MAN DOOR
- OVERHEAD DOOR
- CONCRETE CURB
- RETAINING WALL

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519-743-6500

OWNER
WE MERCHANDISE SPACE INC
 590 ALDEN ROAD MARKHAM

PROJECT
11 ACRE SITE OPA AND REZONING
 350 WELLINGTON ROAD 7 ELORA

DRAWING

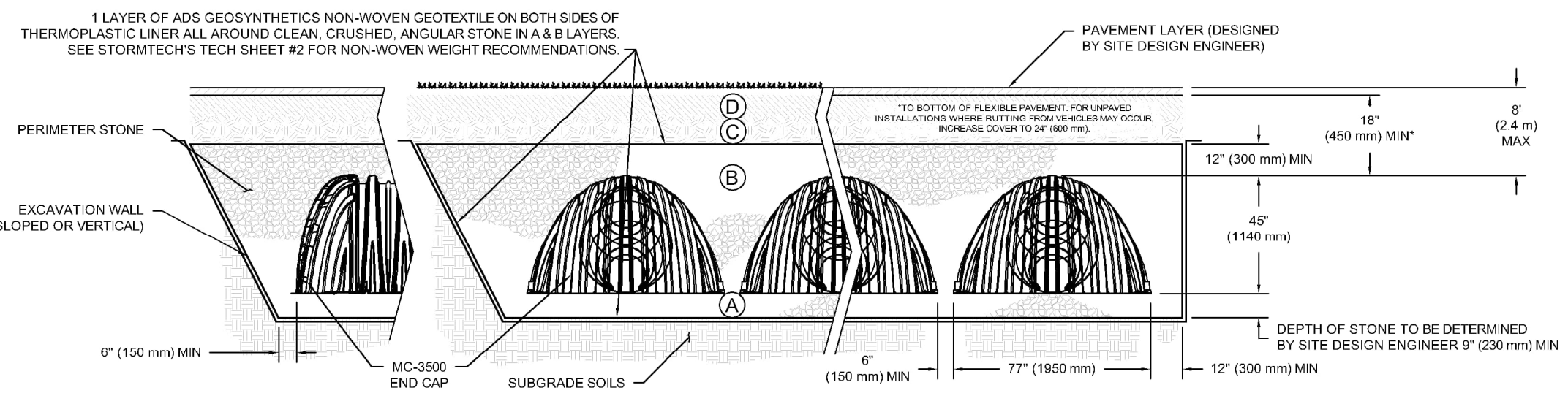
FUNCTIONAL SERVICING PLAN #2

Project Manager	P. DOUGLAS	Project No.	51060-100
Design By	TMA	Checked By	LEI
Drawn By	BDW/APK	Checked By	TMA
Surveyed By	MTE	Drawing No.	
Date	Jul. 14/22	C2.5	
Scale	1:300	Sheet 6 of 7	

P:\51060\100\51060-100-C2

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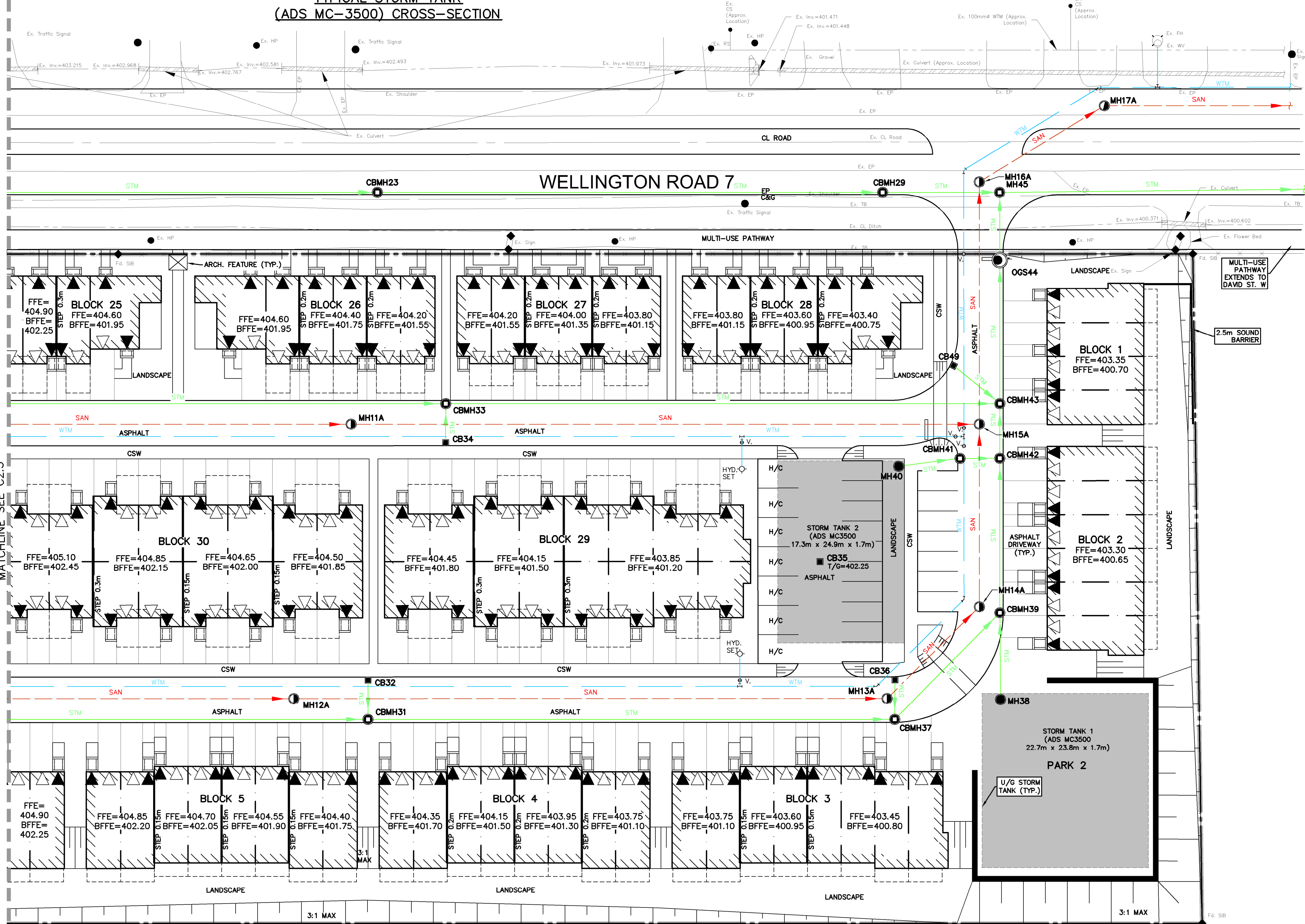
April 27, 2023 - 4:41:53 PM - Plotted By: Belle Wilson



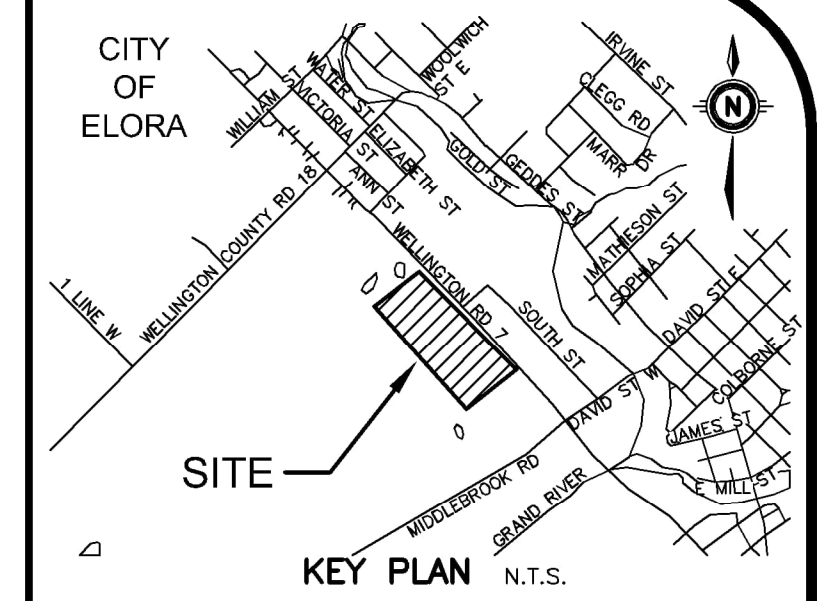
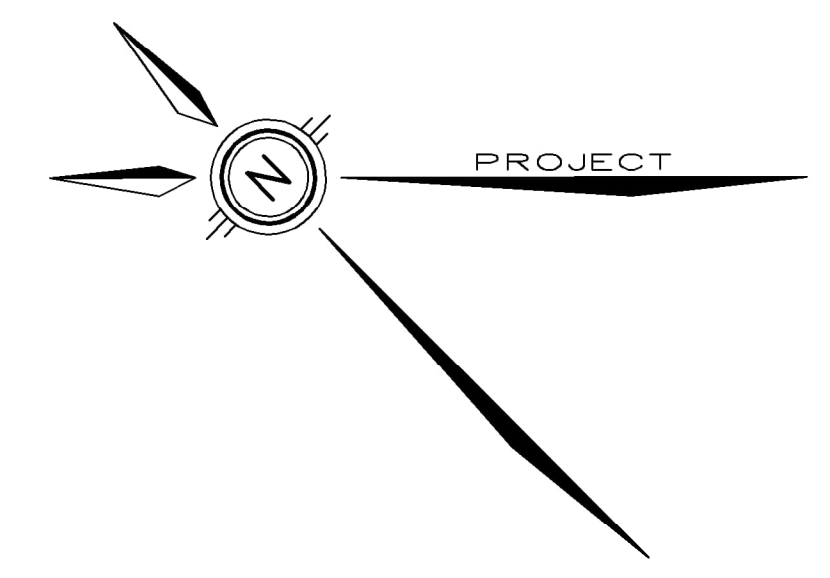
TYPICAL STORM TANK (ADS MC-3500) CROSS-SECTION

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NOTE: REFER TO PRELIMINARY WATERMAIN AND SANITARY SEWER PLANS BY TRITON ENGINEERING SERVICES LIMITED DATED DEC 2021 FOR ILLUSTRATION OF THE PROPOSED WATERMAIN AND SEWER EXTENSION FROM DAVID STREET W. TO THE SITE.



NOTE: SIDE AND REAR DOWNSPOUTS ON BLOCKS 1 TO 11, AND A PORTION OF BLOCK 12, ARE TO SPILL TO GRADE ULTIMATELY TO WETLAND A



GEODETIC BM ELEV. = 387.982m
ELORA POST OFFICE, BOLT IN FRONT WALL, IN LINTEL OF CENTRE BASEMENT WINDOW. (HISTORICAL NUMBER 16U117E).

SITE BENCHMARK ELEV. = m

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LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- EXISTING FENCE
- EXISTING RIP RAP
- EXISTING CULVERT
- EXISTING WATERMAIN

LEGEND OF PROPOSED FEATURES

- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- EMBANKMENT (SLOPE AS NOTED)
- PROPOSED BUILDING
- MAN DOOR
- OVERHEAD DOOR
- CONCRETE CURB
- RETAINING WALL

8.		
7.		
6.		
5.		
4.		
3.		
2.	Revised per Township/County Comments	PWD 2023-04-27
1.	ISSUED WITH FS-SWM REPORT	PWD 2022-10-20
No.	REVISION	BY YYYY-MM-DD



519-743-6500

OWNER
WE MERCHANDISE SPACE INC

PROJECT
11 ACRE SITE OPA AND REZONING

350 WELLINGTON ROAD 7 ELORA

FUNCTIONAL SERVICING PLAN #3

Project Manager P. DOUGLAS	Project No. 51060-100
Design By TMA	Checked By LEI
Drawn By BDW/APK	Checked By TMA
Surveyed By MTE	Drawing No. C2.6
Date Jul. 14/22	Scale 1:300
Sheet 7 of 7	